

Fence Permit

** All Forms Listed Must Be Completed Fully.

- 1. Permit Application
- 2. Copy of Survey Required
- 3. Memorial Village Water Authority Approval (obtained prior to submitting to the city)
- 4. Home Owner Affidavit Form (Must Be Notarized)
- 5. Home Owner Association Approval (if applicable)
- 6. Corner Lot Form (Must be completed even if it is not a corner lot)
- 7. Person Responsible for Project Form
- 8. Authorized Work Hours Form
- 9. Tree Disposition Plan
- 10. Must Provide Fence Detail for Each (Ex: Material, Height, and Linear Footage)
- 11. For a Solid Stucco Fence or Retaining Wall (Engineering Approval Required)
- 12. Show Fence Gate Details (Latch Heights, Swing In or Out)
- 13. Area Calculation Form is Only Required for a Solid/Stucco Fence (Columns & Walls)
- 14. Drainage Plan Required for Retaining a Wall of Brick Fencing
- 15. Applicant must complete the shared or non-shared fence letter.
- 16. It is the responsibility of the property owner and the fence contractor to work with all neighbors to properly communicate about the fence construction and to make sure that all residents are aware of the construction of this new or replacement fence.
- 17. We require two(2) copies of all Fence Permit Packets and they are to be **dropped-off** to the city.

Helpful Notes

- All fences must be within the property line.
- A fence posthole inspection and a fence final are required for completion of a fence.

- If installing a pool, all fencing must comply with the pool barrier codes.
- No fence signage is required on fences.
- Fencing on a corner has different regulations.
- Please refer to the City Ordinances and regulations. Chapter 74, Piney Point Code of Ordinances, Section 245. Supplementary district regulation. (i) Fences, front yard through (5) Replacement of nonconforming fences.
- A fence permit is required before demolition of the old fence.
- All old fence debris must be removed from the property.
- Please make sure you call 811 before you dig.
- At the time of inspections, all fence holes must be completed and you must run a string line. For partial inspections, extra permit fees apply.
- When constructing a fence, the fence post holes specifications must be:
 - o For a 6' fence, 8" wide hole and 2' deep.
 - o For a 7' fence, 8" wide hole and 30" deep, which is 2.5'.
 - o For an 8' fence, 8" wide hole and 36" deep, which is 3'.
- Inspections are done Monday through Friday.
- Must list the Building Code: IRC 2018.

Plan Examiners

- Kimberly Perez Intake
- Annette Arriaga Building Official
- Jason Bienek Plan Examiner
- Cary Moran City Forester



7676 Woodway Dr, Suite 300 Houston, Texas 77063 Phone: (713) 782-1757 / Fax: (713) 782-3178

bldgofficial@pineypt.org

FOR OFFICE USE ONLY
P#
PERMIT FEE:
INSPECTION FEE:
GRAND TOTAL:

PERMIT APPLICATION REQUEST

(ALL INFORMATION IS REQUIRED)

	PROPERTY OWNER INFOR	MATION
DATE:		
SITE ADDRESS:		
LOT:BLOC	K: SUBI	DIVISION:
PROPERTY OWNER:		
MAILING ADDRESS:		STATE: ZIP:
PHONE NUMBER:	MOBIL: _	
FAX NUMBER:	E-MAIL:	
	CONTRACTOR INFORMA	TION
CONTRACTOR COMPANY NAME:		
CONTACT NAME:	STATE	LICENSE#
MAILING ADDRESS:		
CITY:	STATE:	ZIP:
PHONE NUMBER:	MOBIL	:
FAX NUMBER:	E-MAIL:	
TOTAL COST OF IMPROVEMENT	<mark>'S</mark> : \$	
	TYPE OF PERMIT	
☐ ACCESSORY STRUCTURE	☐ ELECTRICAL	□ NEW SINGLE FAMILY
☐ ADDITION	☐ FENCE	☐ PLUMBING
☐ DECKING	☐ FIRE SPRINKLER	☐ REMODEL
☐ DEMOLITION	☐ GENERATOR	□ ROOF
☐ DRAINAGE	□ HVAC	☐ SWIMMING POOL
☐ DRIVEWAY/FLATWORK	☐ IRRIGATION SPRINKLER	□ OTHER
IF OTHER, PLEASE SPECIFY:		

JOB DESCRIPTION / DETAILED SCOPE OF WORK	
(Job description and detailed scope of work is <u>required</u> .)	
SIGNATURE OF APPLICANT	
PRINT NAME OF APPLICANT	
(Signatures are required for all applications.)	
(NOT REQUIRED)	
SIGNATURE OF HOMEOWNER	
PRINT NAME OF HOMEOWNER	
(Homeowner signatures are required for all new single-family homes, additions, and renovations.)	

THE UNDERSIGNED, IN ACCORDANCE WITH PROVISIONS OF THE BUILDING AND ZONING ORDINANCES OF THE CITY OF PINEY POINT VILLAGE, HEREBY APPLIES FOR THE PERMIT DESCRIBED HEREIN. APPLICANT HEREBY CERTIFIES THAT ALL PROVISIONS OF THE BUILDING LAWS AND ORDINANCES WILL BE COMPLIED WITH AND THAT ALL STATEMENTS MADE HEREIN ARE TRUE AND CORRECT.

NOTE: No use of any building is permitted without a Certificate of Occupancy, including the storage of any items. Use of building prior to issuance of a Certificate of Occupancy will require the gas and electric to be terminated. Not to exclude other penalties. The City of Piney Point Village has the right to include the current resident/home owner in every aspect of the building permitting process.

ONLY FOR STUCCO COLUMNS / SOLID WALLS

Area Calculations Form

Property Address:Date:				te:	
Type of Permit:					
Area of Lot:	Area of Lot: Square Footage:				
Lot Coverage	Cal	culations			
	Exi	sting Area	Proposed A	Area	Total Area
Main Structure (Total Covered Area)					
Accessory Structure					
Driveways, Walkways & Sidewalks					
Pool and Pool Decking					
Total Lot					
Coverage					
Percent of Lot Cove	erage k	oy Main Struc	ture:		
Area of Main Struc (divided by)	cture/	Area of I	Lot =	30%	Max Coverage
Percent of Lot Cove	erage k	oy Main Struc	ture:		
Total Lot Covera	ıge/	Area of Lo	t =	50%	Max. Coverage
(divided by) Reference, City of Pine	v Point C	ode of Ordinances	. Chapter 74- Secti	on. 244. Re	gulations. (g)
The undersigned, in accordance wit statements made herein are true a Signature of Property C	th the provis nd correct. Dwner a l	ions of the Zoning Ordin	ance of the City of Piney	Point Village, h	ereby certifies that all
Name of Company:					

The City of Piney Point Village

7676 Woodway Suite #300 Houston, Texas 77063 (713) 782-1757 phone (713) 782-3178 fax

§ THE STATE OF TEXAS **DEED RESTRICTION AND DEVELOPMENT PLAT**

> § **AFFIDAVIT FOR RESIDENTIAL**

COUNTY OF HARRIS	§	BUILDING PERMIT	
ADDRESS OF PROPERTY:	·		
TYPE OF PERMIT:			
Before me, the undersigned authorit legibly print name of Affiant) who being "This affidavit is given in connectic eighteen years or older, and I am of sincluding, without limitation, persona application appertains, of the plans are issued, and of the intended use of the insued, and of the intended use of the insued, and of the intended use of the insued, and of the real property to whole the intended use of the insued issued, and of the real property to whole the insued is appertains, and I have been expressly authorized (b) (Each Affiant must initial this term): The building permit application to whice single family detached residence or auxiliary strong the use exclusively. (c) As used in this part (c), the term "deed reaffecting the use and enjoyment of the land that re-plat, deed or any other instrument affecting at to the property to which this building permit apphase expired through lapse of time by its own to include any covenant or restriction to the extended and the initial item (1) below; if there are defined that this property is not encumbered by any affiant shall initial item (1) below; if there are defined in the initial item (1) below; if there are defined in the initial item (2) in the personal knowledge that this real property is encounted in the submitted plans will we used authorized: Nothing on the submitted plans will we used authorized: Setbacks:	g first duly sworr on with the app sound mind. I had knowledge of and specifications improvements to able): hich this building e owner or owner or owner or owner or owner or ich this affidavit ructure thereto (estrictions" meat is contained in a subdivision or polication appertaiterms without reent, that it has a enjoy the use of leed restrictions e to the real propony deed restrictions to the real propony deed restriction to the real propony deed restrictions or polication appertaited to the real propony deed restrictions of the real propony deed restricti	a by me, on her/his oath deposed lication for a building permit the ave personal knowledge of the fathe title to the real property to for the work to be performed a be constructed thereunder. I permit application appertains. It is of the real property to which the owners to make this affidavit on appertains is for the repair, remes, a garage) that is designed a ms any and every restriction or or incorporated by reference in a ortion thereof inside its boundaries. The term shall not include an enewal, revival or extension. Adexpressly been declared invalid of the property. (If there are not then the Affiant must initial and therty to which this building permit ons. perty to which this building applied restrictions, which provide in parestrictions.	and said the following: at is attached hereto. I am acts set forth in this affidavit o which the building permit under the building permit, if his building permit application their behalf. Indeling or construction of a nd intended for single family convenant running with and properly recorded plan, plat, es that relates in any manner y covenant or restriction that ditionally, the term shall not by final order of a court of the deed restrictions, then the complete item (2) below.) It application appertains, and I have art as follows:
Front:Side/interior:		Back/rear:Side Street:	
Minimum/maximum lot size:		Minimum/minimum house size:	
Number of stories authorized:		Number of structures authorized:	
Application – Affiant			
SWORN TO AND SUBSCRIBED before me, the und 20, to certify witness my hand and seal of of		ity on thisday of	

Notary Public in and for the State of TEXAS



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Corner Lot Fence Supplement

Homeov	vner's Name	:	
Property	Address:		
YES	NO	IS THE LOT A CORNER LOT?	
YES	NO	IS THE LOT A CORNER LOT ADJACE ESPLANADE STREET?	ENT TO A FOUR LANE
YES	NO	DOES THE CORNER LOT HAVE AN I	EXISTING FENCE?
YES	NO	IS THE EXISTING FENCE MADE OF	WOOD CONSTRUCTION?
YES	NO	WAS THE EXISTING FENCE CONSTI HOUSE WAS BUILT?	RUCTED WHEN THE
YES	NO	IS THE PROPOSED FENCE ADJACENUSING THE SAME LIKE MATERIAL IN THE SAME LOCATION (NOT EXT	AS THE EXISTING FENCE
YES	NO	IS THE PROPOSED FENCE ADJACEN MAXIMUM SIX FEET IN HEIGHT?	TT TO THE STREET
YES	NO	IS THE PROPOSED FENCE BEING CO CONSTRUCTION OF A NEW HOUS	
YES	NO	DOES THE FENCE ADJACENT TO T 80% OPEN AREA 20% SOLID REQU	
YES	NO	IS YOUR SUBMITTED SURVEY CU	RRENT?
BUILDI	NG LAWS	ED APPLICANT HEREBY CERTIFIES THA AND ORDINANCES WILL BE COMPLIED DE HEREIN ARETRUE AND CORRECT.	
PRINT I	NAME OF A	APPLICANT AND COMPANY	
SIGNAT	ΓURE OF AI	PPLICANT AND COMPANY	DATE



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Builder Responsible for Construction Correspondence

Date:	Permit Nun	nber:
Property Address:		
Responsible Party		
Name & Title:		
First	Last	Title (Ex: Superintendent)
Contact Phone Numbers:		
	Cell Phone	Home
E-Mail:		
Alternate Contact		
Name & Title:		
First	Last	Title (Ex: Superintendent)
Contact Phone Numbers:		
	Cell Phone	Home
E-Mail:		
Estimated Build-Out Time:		

If any of this information changes or you are no longer in charge of the property as indicated above, please contact the city to inform of the update and/or change. The City of Piney Point Village can contact the current owner of the property, for example the property owner, to discuss any construction activity while the building is still under a permit and all final inspections have not been finalized with the city. All contact information will be passed on to the city's Code Enforcement Department, 832-849-8446.

Annette R. Arriaga

Building Official



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Important Contractor Notification & Acknowledgement

NO WORK ON SUNDAYS

Sec. 10-1. - Time limitations on building activities.

- (a) It shall be unlawful for any person to cause, permit or perform any construction, renovation, alteration, repair or demolition of any building or structure, or any excavation related thereto ("building activities"), within the city, except between the hours of 7:00 a.m. and 7:00 p.m. on Mondays through Fridays, and between the hours of 8:00 a.m. and 6:00 p.m. on Saturdays. All building activities are strictly prohibited on Sundays and Holidays. Holidays shall include Memorial Day, Independence Day, Labor Day, Thanksgiving Day, Christmas Day, and New Years Day.
- **(b)** The provisions of subsection (a) shall not apply to any construction, renovation, alteration, repair, demolition or related excavation which is conducted by a governmental entity, or for which a city permit is not required.
- **(c)** The city building official is hereby authorized and directed to issue stop work orders as are necessary to assure compliance with the provisions of this section.
- (d) Any person who shall violate any provision of this section shall be deemed guilty of a misdemeanor and, upon conviction, shall be fined as prescribed in section 1-11.

(Ord. No. <u>20.02.24.B</u>, § 1, 2-24-20)

Cross reference— Environment, ch. 26.

Sec. 10-6. - Penalty for violation of chapter.

Any person who shall violate or cause to be violated any provision of this chapter, including a provision of a code adopted by this chapter, or who shall fail to comply with any of the requirements of this chapter or any code adopted by this chapter, shall be deemed guilty of a misdemeanor and, upon conviction, shall be punished as provided in section 1-11 of the City Code. Each such person shall be deemed guilty of a separate offense for each violation and for each day during which any violation is committed or continued.

(Ord. No. 20.02.24.B, § 1, 2-24-20)

I have read all of the contactor work hours for the City of Piney Point Village and acknowledge the required work hours and violations. I am aware that <u>no</u> work shall be performed on Sundays for projects that are currently under construction.

Date:	
Print Name of Applicant:	
Signature of Applicant:	
Project Address:	
Project Type:	



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Tree Disposition Plan

Date:			
Project Address:			
SQ FT of Property:			
Contractor Name: _			
Phone:		Fax:	E-Mail:
Owner:			
Phone:		Fax:	
The following item	s must be attach	ed:	
 Tree Surv Spection Narrow Proposed Project (Please circon New Single Family I Garage I hereby certify than 	ey (signed by a coie, Trees 3" > Description of the followelling Demolition I have complet	Trees cements, treatments) lowing) Remodel/Addition Tree Removal ed the above information	Pool Other: Fence to the best of my ability. I
		omitted in error will result tional re-checking fee bei	t in Tree Disposition Plans and ng assessed.
Signature:			Date
Name (Print):			Title
City Forester:			Date
NO OTHER TREE	REMOVALS V	WITHOUT REVISED TD	P AND CITY APPROVAL.
City Urban Foreste	r – Cary Moran	– (832) 952-1136 – carv@	ninevnt org



MEMORIAL VILLAGES WATER AUTHORITY

8955 GAYLORD DRIVE, HOUSTON, TEXAS 77024-2903

PH: 713-465-8318 Email: Info@MVWA.ORG FAX: 713-465-8387

APPLICATION FOR CONSTRUCTION PROJECT APPROVAL

(TYPE OR PRINT) Incomplete or illegible applications may be delayed in processing. PROJECT LOCATION Date: APPLICANTS NAME: ADDRESS: CITY OF: Hedwig – Hunters Creek - (Piney Point RETURN ADDRESS: (If different than project address) City, State, Zip: _____ SIGN: (HM)_____(Ofc)____(Cell)___ THIS APPLICATION IS FOR: (check all that apply) Fence Construction Driveway/sidewalk Drainage Plan (Submit plans) (Submit plans) (Submit plans) Other - Describe: _____ (Submit construction plans if applicable) COMMENTS: ALL PLANS SHALL SHOW LOCATION OF EXITING WATER METER(S), SANITARY SEWER CLEANOUTS, MANHOLES, FIRE HYDRANTS, WATER VALVES and EASEMENTS. DO NOT WRITE BELOW THIS LINE DO NOT WRITE BELOW THIS LINE MVWA ACTION TAKEN APPROVED APPROVED as noted **DENIED** as noted **RE-SUBMIT** as noted Fence Construction - _____ Driveway/sidewalk - _____ Drainage Plan Other Acknowledgement by Owner/Representative **MVWA** Official **Print Name, Initial & Date** (at the time form is picked up)



City of Piney Point Village

7676 WOODWAY DR., SUITE 300 HOUSTON, TX 77063-1523

TELEHONE (713) 782-0271 FAX (713) 782-0281

CITY OF PINEY POINT VILLAGE

SHARED FENCE LETTER

DATE:	
Property Address:	
Shared Property Address:	
Iunderstand, acknowledge will be a shared fence with my neighbor at am installing will be on the property line including concre	and the shared fence that I
ACKNOWLEDGEMENT:	
Signature of Fence Contractor:	
Signature of Property Owner/Resident:	
Signature of Shared Fence Owner/Resident:	
Contact Phone Number:	=
E-Mail:	

AraDoc06.16.2020



City of Piney Point Village

7676 WOODWAY DR., SUITE 300 HOUSTON, TX 77063-1523

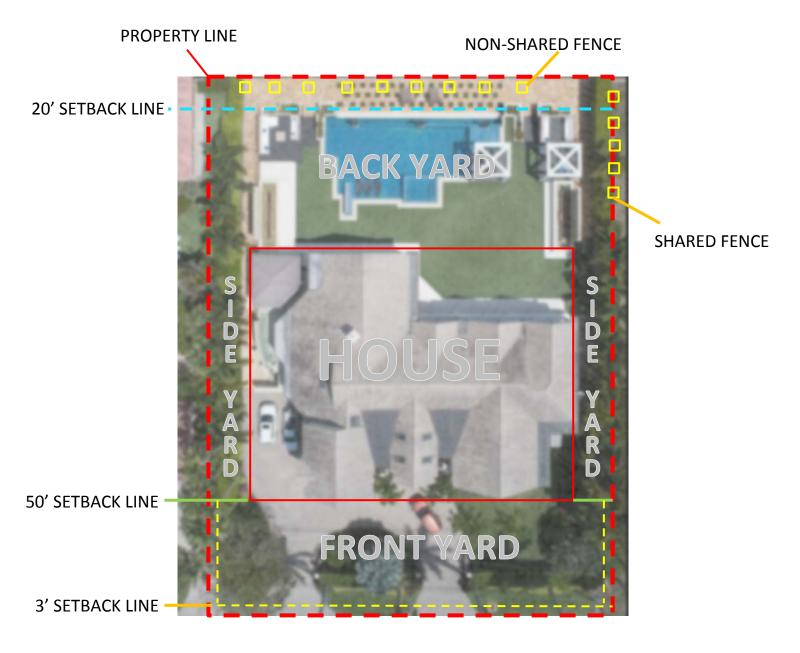
TELEHONE (713) 782-0271 FAX (713) 782-0281

CITY OF PINEY POINT VILLAGE

NON-SHARED FENCE LETTER

DATE:	
Property Address:	
	understand, acknowledge and agree that the fence that I am installing ty line including concrete, and concrete post holes. And in addition we will the property line as is.
ACKNOWLEDGEMENT:	
Signature of Fence Contractor	:
Signature of Property Owner/	Resident:
Contact Phone Number:	
E-Mail:	

AraDoc.06.16.2020



• FENCE AT A 3' SETBACK LINE:

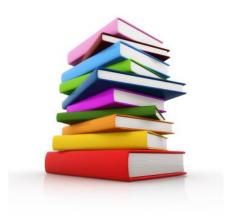
- o Can be no more than 3' in height.
- The 3' tall applies to all fencing in the front yard.
- o Can be any material (Ex. Iron, Cedar, Stucco. Etc.)
- o Height measured from average natural grade.

• FENCE AT A 50' SETBACK LINE:

- o Can be any material (Ex. Iron, Cedar, Stucco. Etc.)
- o If it is a solid wall, it requires drainage.
- o Can be no more than 8' in height (if it is an interior lot).
- Corner Lots are subject to HOA approval and per the city's ordinance.

For All Code Information

Please go to <u>www.municode.com</u>



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Piney Point Village

