



# Generator Permit

**\*\* All Forms Listed Must Be Completed Fully.**

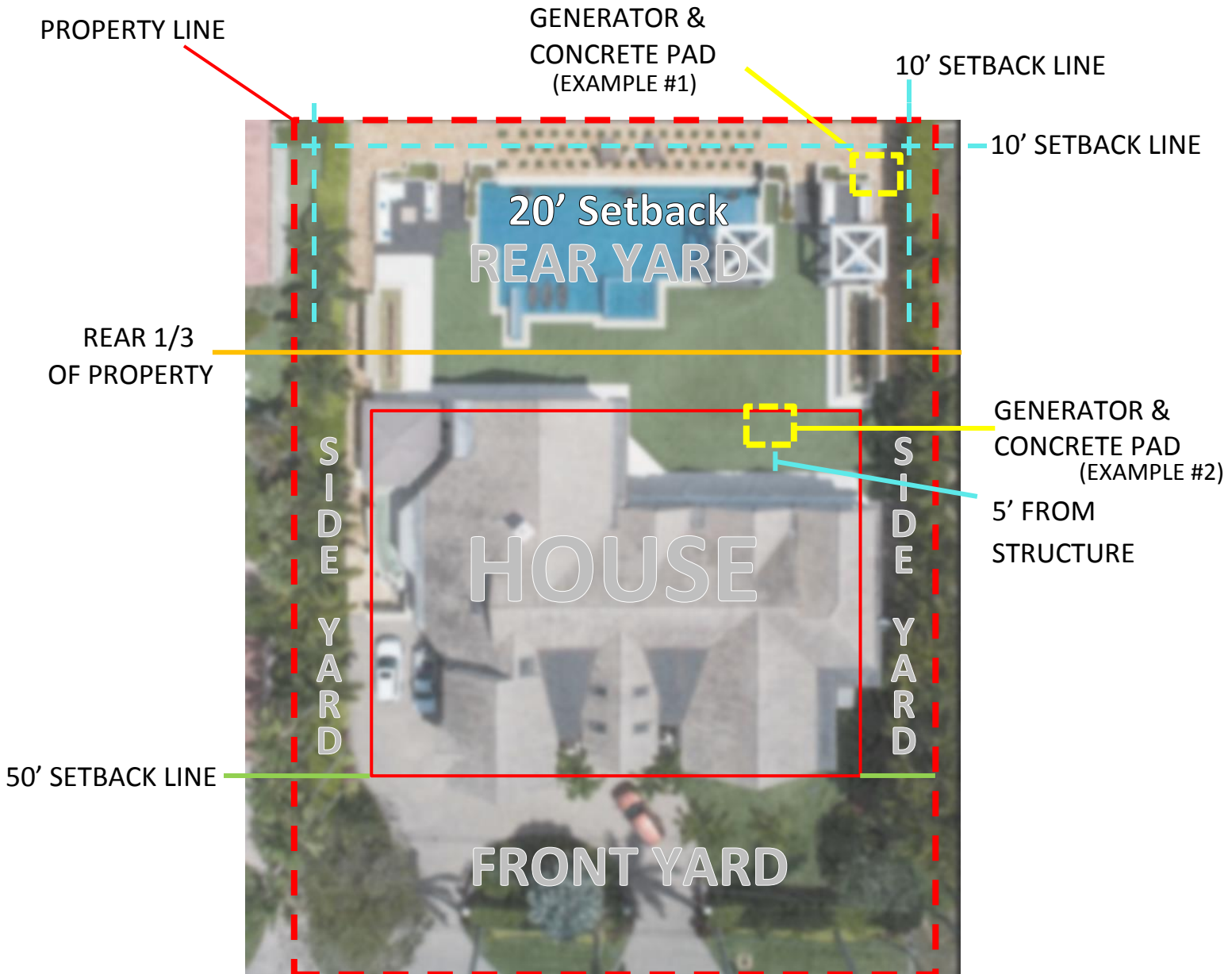
1. Permit Application (for Generator & Concrete Pad)
2. Permit Application (for Electrical)
3. Survey Required (Must include setbacks and distance from structures to generator pad)
4. Generator Pad Location Acknowledgement
5. Home Owner Affidavit Form (Must be signed and Notarized prior to submittal)
6. Home Owner Association Approval Required (if applicable)
7. Area Calculations Form
8. Memorial Village Water Authority Approval (Must obtain approval prior to submittal)
9. Person Responsible for Project Form
10. City of Piney Point Authorized Work Hours Form
11. Copy of Generator's Specifications
12. Generator Decibel Level Specifications
13. CenterPoint Approval (see new form)
14. Electrical Load Analysis Form (add 1 line diagram) (**REQUIRED** to use **our** form)
15. Emergency Transfer Switch Specifications
16. Foundation Concrete Pad Details (see help sheet)
17. Gas Line Location and Connection Details
18. Tree Disposition Form
19. Generator Screening Information
20. Specify Codes to be Used (for example: Structural, Electrical, Plumbing)
21. All generator packets are to be **dropped-off** to the city.

### Helpful Notes

- All Generator Packets are subject to plan review by the plan examiner and the City Forester.
- All concrete pads and pre-fabricated pads are **REQUIRED** to be inspected prior to Electrical or Gas connections. This has been implemented to make sure all setbacks are met. (EFFECTIVE 07.29.2021)
- If using a pre-fabricated pad instead of a new concrete pad, you must provide a copy of the generator manufacture specifications for the pad.
- Generators require underground natural gas.
- Generators must be placed no less than 5' from the main structure.
- Generators can be located within any building setback line or in the rear 1/3 of the property, but you can be 10' from the side and rear property lines only.
- Generators must be sized for the correct electrical load so, 1 line diagrams are required.
- You need to show where the transfer switch is going.
- Generators must be screened from street side.
- Specify if trees are to be removed.
- Any tree being removed is subject to the city's current Tree Ordinance.
- Area Calculation Form must be completed because of the added concrete pad.
- When applying for a permit, contractor must submit two complete set of plans.
- A separate plumbing permit is required.
- If a re-connect is necessary for this project a separate permit will be required and subject to an additional inspection fee.
- Copper electrical wiring is only to be used.
- Any failed inspections are \$50.00 and must be paid prior to rescheduling a re-inspection.
- All inspection tickets are left at the project job site.
- **No** transfer switch or any electrical rework can be done prior to the submittal and approval of the generator permit.
- **Must provide a permit doc box for the generator and the document box must be located near the generator project site.**

### Plan Reviewers

- Kimberly Perez - Intake
- Jason Bienek – Plan Examiner
- Cary Moran – City Forester



- GENERATOR & CONCRETE PAD EXAMPLE #1:
  - If it is in the rear 1/3 of the property, the generator and the concrete pad must be 10 foot from the property line.
- GENERATOR & CONCRETE PAD EXAMPLE #2:
  - If it is not in the 1/3 rear of the property, the generator and concrete pad must be 5 foot from the structure, but still within the side yard setback.

\* Please note that all generators must be screened from street view.



**Building, Planning & Development Department**  
**PERMITS AND INSPECTIONS DIVISION**  
 7676 Woodway Dr, Suite 300  
 Houston, Texas 77063  
 Phone: (713) 782-1757 / Fax: (713) 782-3178  
 bldgofficial@pineypt.org

FOR OFFICE USE ONLY	
P#	_____
PERMIT FEE:	_____
INSPECTION FEE:	_____
GRAND TOTAL:	_____

## PERMIT APPLICATION REQUEST

**(ALL INFORMATION IS REQUIRED)**

### PROPERTY OWNER INFORMATION

DATE: \_\_\_\_\_

SITE ADDRESS: \_\_\_\_\_

LOT: \_\_\_\_\_ BLOCK: \_\_\_\_\_ SUBDIVISION: \_\_\_\_\_

PROPERTY OWNER: \_\_\_\_\_

MAILING ADDRESS: \_\_\_\_\_ STATE: \_\_\_\_\_ ZIP: \_\_\_\_\_

PHONE NUMBER: \_\_\_\_\_ MOBIL: \_\_\_\_\_

FAX NUMBER: \_\_\_\_\_ E-MAIL: \_\_\_\_\_

### CONTRACTOR INFORMATION

CONTRACTOR COMPANY NAME: \_\_\_\_\_

CONTACT NAME: \_\_\_\_\_ STATE LICENSE# \_\_\_\_\_

MAILING ADDRESS: \_\_\_\_\_

CITY: \_\_\_\_\_ STATE: \_\_\_\_\_ ZIP: \_\_\_\_\_

PHONE NUMBER: \_\_\_\_\_ MOBIL: \_\_\_\_\_

FAX NUMBER: \_\_\_\_\_ E-MAIL: \_\_\_\_\_

**TOTAL COST OF IMPROVEMENTS:** \$ \_\_\_\_\_

### TYPE OF PERMIT

- |  |   |  |
|--|---|--|
| <input type="checkbox"/> ACCESSORY STRUCTURE | <input type="checkbox"/> ELECTRICAL           | <input type="checkbox"/> NEW SINGLE FAMILY |
| <input type="checkbox"/> ADDITION            | <input type="checkbox"/> FENCE                | <input type="checkbox"/> PLUMBING          |
| <input type="checkbox"/> DECKING             | <input type="checkbox"/> FIRE SPRINKLER       | <input type="checkbox"/> REMODEL           |
| <input type="checkbox"/> DEMOLITION          | <input checked="" type="checkbox"/> GENERATOR | <input type="checkbox"/> ROOF              |
| <input type="checkbox"/> DRAINAGE            | <input type="checkbox"/> HVAC                 | <input type="checkbox"/> SWIMMING POOL     |
| <input type="checkbox"/> DRIVEWAY/FLATWORK   | <input type="checkbox"/> IRRIGATION SPRINKLER | <input type="checkbox"/> OTHER             |

IF OTHER, PLEASE SPECIFY: Concrete Pad and New Generator

**JOB DESCRIPTION / DETAILED SCOPE OF WORK**

---

---

---

---

---

---

---

---

**(Job description and detailed scope of work is required.)**

---

SIGNATURE OF APPLICANT

---

PRINT NAME OF APPLICANT

**(Signatures are required for all applications.)**

**(NOT REQUIRED)**

---

SIGNATURE OF HOMEOWNER

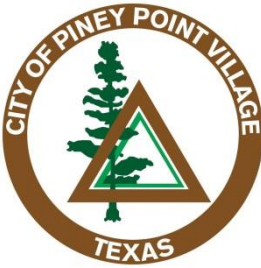
---

PRINT NAME OF HOMEOWNER

**(Homeowner signatures are required for all new single-family homes, additions, and renovations.)**

THE UNDERSIGNED, IN ACCORDANCE WITH PROVISIONS OF THE BUILDING AND ZONING ORDINANCES OF THE CITY OF PINEY POINT VILLAGE, HEREBY APPLIES FOR THE PERMIT DESCRIBED HEREIN. APPLICANT HEREBY CERTIFIES THAT ALL PROVISIONS OF THE BUILDING LAWS AND ORDINANCES WILL BE COMPLIED WITH AND THAT ALL STATEMENTS MADE HEREIN ARE TRUE AND CORRECT.

**NOTE:** No use of any building is permitted without a Certificate of Occupancy, including the storage of any items. Use of building prior to issuance of a Certificate of Occupancy will require the gas and electric to be terminated. Not to exclude other penalties. The City of Piney Point Village has the right to include the current resident/home owner in every aspect of the building permitting process.



**Building, Planning & Development Department**  
**PERMITS AND INSPECTIONS DIVISION**  
 7676 Woodway Dr, Suite 300  
 Houston, Texas 77063  
 Phone: (713) 782-1757 / Fax: (713) 782-3178  
 bldgofficial@pineypt.org

FOR OFFICE USE ONLY	
P#	_____
PERMIT FEE:	_____
INSPECTION FEE:	_____
GRAND TOTAL:	_____

## PERMIT APPLICATION REQUEST

**(ALL INFORMATION IS REQUIRED)**

### PROPERTY OWNER INFORMATION

DATE: \_\_\_\_\_

SITE ADDRESS: \_\_\_\_\_

LOT: \_\_\_\_\_ BLOCK: \_\_\_\_\_ SUBDIVISION: \_\_\_\_\_

PROPERTY OWNER: \_\_\_\_\_

MAILING ADDRESS: \_\_\_\_\_ STATE: \_\_\_\_\_ ZIP: \_\_\_\_\_

PHONE NUMBER: \_\_\_\_\_ MOBIL: \_\_\_\_\_

FAX NUMBER: \_\_\_\_\_ E-MAIL: \_\_\_\_\_

### CONTRACTOR INFORMATION

CONTRACTOR COMPANY NAME: \_\_\_\_\_

CONTACT NAME: \_\_\_\_\_ STATE LICENSE# \_\_\_\_\_

MAILING ADDRESS: \_\_\_\_\_

CITY: \_\_\_\_\_ STATE: \_\_\_\_\_ ZIP: \_\_\_\_\_

PHONE NUMBER: \_\_\_\_\_ MOBIL: \_\_\_\_\_

FAX NUMBER: \_\_\_\_\_ E-MAIL: \_\_\_\_\_

**TOTAL COST OF IMPROVEMENTS:** \$ \_\_\_\_\_

### TYPE OF PERMIT

- |  |  |  |
|--|--|--|
| <input type="checkbox"/> ACCESSORY STRUCTURE | <input checked="" type="checkbox"/> ELECTRICAL | <input type="checkbox"/> NEW SINGLE FAMILY |
| <input type="checkbox"/> ADDITION            | <input type="checkbox"/> FENCE                 | <input type="checkbox"/> PLUMBING          |
| <input type="checkbox"/> DECKING             | <input type="checkbox"/> FIRE SPRINKLER        | <input type="checkbox"/> REMODEL           |
| <input type="checkbox"/> DEMOLITION          | <input type="checkbox"/> GENERATOR             | <input type="checkbox"/> ROOF              |
| <input type="checkbox"/> DRAINAGE            | <input type="checkbox"/> HVAC                  | <input type="checkbox"/> SWIMMING POOL     |
| <input type="checkbox"/> DRIVEWAY/FLATWORK   | <input type="checkbox"/> IRRIGATION SPRINKLER  | <input type="checkbox"/> OTHER             |

IF OTHER, PLEASE SPECIFY: \_\_\_\_\_

**JOB DESCRIPTION / DETAILED SCOPE OF WORK**

---

---

---

---

---

---

---

---

**(Job description and detailed scope of work is required.)**

---

SIGNATURE OF APPLICANT

---

PRINT NAME OF APPLICANT

**(Signatures are required for all applications.)**

**(NOT REQUIRED)**

---

SIGNATURE OF HOMEOWNER

---

PRINT NAME OF HOMEOWNER

**(Homeowner signatures are required for all new single-family homes, additions, and renovations.)**

THE UNDERSIGNED, IN ACCORDANCE WITH PROVISIONS OF THE BUILDING AND ZONING ORDINANCES OF THE CITY OF PINEY POINT VILLAGE, HEREBY APPLIES FOR THE PERMIT DESCRIBED HEREIN. APPLICANT HEREBY CERTIFIES THAT ALL PROVISIONS OF THE BUILDING LAWS AND ORDINANCES WILL BE COMPLIED WITH AND THAT ALL STATEMENTS MADE HEREIN ARE TRUE AND CORRECT.

**NOTE:** No use of any building is permitted without a Certificate of Occupancy, including the storage of any items. Use of building prior to issuance of a Certificate of Occupancy will require the gas and electric to be terminated. Not to exclude other penalties. The City of Piney Point Village has the right to include the current resident/home owner in every aspect of the building permitting process.

# Area Calculations Form

**Property Address:** \_\_\_\_\_ **Date:** \_\_\_\_\_

**Type of Permit:** \_\_\_\_\_ New Generator \_\_\_\_\_

**Area of Lot:** \_\_\_\_\_ **Square Footage:** \_\_\_\_\_

## Lot Coverage Calculations

	Existing Area	Proposed Area	Total Area
<b>Main Structure (Total Covered Area)</b>			
<b>Accessory Structure</b>			
<b>Driveways, Walkways &amp; Sidewalks</b>			
<b>Pool and Pool Decking</b>			
<b>Total Lot Coverage</b>			

### Percent of Lot Coverage by Main Structure:

<b>Area of Main Structure/ (divided by)</b>	<b>Area of Lot      =</b>	<b>30% Max Coverage</b>

### Percent of Lot Coverage by Main Structure:

<b>Total Lot Coverage/ (divided by)</b>	<b>Area of Lot      =</b>	<b>50% Max. Coverage</b>

**Reference, City of Piney Point Code of Ordinances, Chapter 74- Section, 244. Regulations. (g)**

The undersigned, in accordance with the provisions of the Zoning Ordinance of the City of Piney Point Village, hereby certifies that all statements made herein are true and correct.

**Signature of Property Owner and/or Applicant:** \_\_\_\_\_

**Name of Company:** \_\_\_\_\_





**Building, Planning & Development Department**  
**PERMITS AND INSPECTIONS DIVISION**  
 7676 Woodway Dr, Suite 300  
 Houston, Texas 77063  
 Phone: (713) 782-1757 / Fax: (713) 782-3178  
 bldgofficial@pineypt.org

**Generator Pad Location**  
**Certification Acknowledgement**

Project Address: \_\_\_\_\_

I, \_\_\_\_\_ (Your Name), with \_\_\_\_\_ (Company Name), understand that by signing I hereby certify and acknowledge that I meet the City’s setback requirements for the location of the Generator concrete Pad. I am aware that in the case that the City’s required setbacks are not met, I must make the appropriate changes to comply with The City of Piney Point Village Code of Ordinances.

The location of the proposed Generator Concrete Pad is:

- \_\_\_\_\_foot from the \_\_\_\_\_(structure)
- \_\_\_\_\_foot from the side property line
- \_\_\_\_\_foot from the rear property line

I certify that all the information provided is true and correct, and has been field verified and confirmed per the Survey copy submitted to the City.

\_\_\_\_\_  
 Print Name of Generator Company Representative \_\_\_\_\_  
 Date

\_\_\_\_\_  
 Signature of Generator Company Representative \_\_\_\_\_  
 Date

\_\_\_\_\_  
 Generator Company Name \_\_\_\_\_  
 Phone Number

**Annette R. Arriaga**  
 City Building Official  
 Director of Planning, Development & Permits

The City of Piney Point Village  
7676 Woodway Suite #300  
Houston, Texas 77063  
(713) 782-0271 phone (713) 782-0281 fax

THE STATE OF TEXAS  
  
COUNTY OF HARRIS

§ DEED RESTRICTION AND DEVELOPMENT PLAT  
§ AFFIDAVIT FOR RESIDENTIAL  
§ BUILDING PERMIT

ADDRESS OF PROPERTY: \_\_\_\_\_

TYPE OF PERMIT: New Generator

Before me, the undersigned authority, on this day personally appeared \_\_\_\_\_ (Type or legibly print name of Affiant) who being first duly sworn by me, on her/his oath deposed and said the following:

“This affidavit is given in connection with the application for a building permit that is attached hereto. I am eighteen years or older, and I am of sound mind. I have personal knowledge of the facts set forth in this affidavit including, without limitation, personal knowledge of the title to the real property to which the building permit application appertains, of the plans and specifications for the work to be performed under the building permit, if issued, and of the intended use of the improvements to be constructed thereunder.

(a) (Each Affiant must initial (1) or (2) as applicable):

- (1) \_\_\_\_\_ I am owner of the real property to which this building permit application appertains.
- (2) \_\_\_\_\_ I am the duly designated agent of the owner or owners of the real property to which this building permit application appertains, and I have been expressly authorized by the owner or owners to make this affidavit on their behalf.

(b) (Each Affiant must initial this term):

\_\_\_\_\_ The building permit application to which this affidavit appertains is for the repair, remodeling or construction of a single family detached residence or auxiliary structure thereto (e.g., a garage) that is designed and intended for single family residential use exclusively.

(c) As used in this part (c), the term “deed restrictions” means any and every restriction or covenant running with and affecting the use and enjoyment of the land that is contained in or incorporated by reference in a properly recorded plan, plat, re-plat, deed or any other instrument affecting a subdivision or portion thereof inside its boundaries that relates in any manner to the property to which this building permit application appertains. The term shall not include any covenant or restriction that has expired through lapse of time by its own terms without renewal, revival or extension. Additionally, the term shall not include any covenant or restriction to the extent, that it has expressly been declared invalid by final order of a court of competent national origin of persons who may enjoy the use of the property. **(If there are no deed restrictions, then the Affiant shall initial item (1) below; if there are deed restrictions then the Affiant must initial and complete item (2) below.)**

- (1) \_\_\_\_\_ I am personally familiar with the title to the real property to which this building permit application appertains, and I swear that this property is not encumbered by any deed restrictions.
- (2) \_\_\_\_\_ I am personally familiar with the title to the real property to which this building application appertains, and I have personal knowledge that this real property is encumbered by deed restrictions, which provide in part as follows:
- (3) \_\_\_\_\_ Nothing on the submitted plans will violate any deed restrictions.

Uses authorized: \_\_\_\_\_  
Setbacks: \_\_\_\_\_  
Front: \_\_\_\_\_  
Side/interior: \_\_\_\_\_  
Minimum/maximum lot size: \_\_\_\_\_  
Number of stories authorized: \_\_\_\_\_

Back/rear: \_\_\_\_\_  
Side Street: \_\_\_\_\_  
Minimum/minimum house size: \_\_\_\_\_  
Number of structures authorized: \_\_\_\_\_

\_\_\_\_\_  
Application – Affiant

SWORN TO AND SUBSCRIBED before me, the undersigned authority on this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, to certify witness my hand and seal of office.

\_\_\_\_\_  
Notary Public in and for the State of TEXAS



**MEMORIAL VILLAGES WATER AUTHORITY**  
 8955 GAYLORD DRIVE, HOUSTON, TEXAS 77024-2903  
 PH: 713-465-8318    Email: Info@MVWA.ORG    FAX: 713-465-8387

## APPLICATION FOR CONSTRUCTION PROJECT APPROVAL

(TYPE OR PRINT) Incomplete or illegible applications may be delayed in processing.

Date: \_\_\_\_\_

PROJECT LOCATION

APPLICANTS NAME: \_\_\_\_\_ ADDRESS: \_\_\_\_\_

RETURN ADDRESS: \_\_\_\_\_ CITY OF: Hedwig – Hunters Creek – Piney Point  
(If different than project address)

City, State, Zip: \_\_\_\_\_ SIGN: \_\_\_\_\_

(HM) \_\_\_\_\_ (Ofc) \_\_\_\_\_ (Cell) \_\_\_\_\_

**THIS APPLICATION IS FOR:** (check all that apply)

- |  |   |   |
|--|---|---|
| <input type="checkbox"/> Fence Construction<br><small>(Submit plans)</small>                                 | <input type="checkbox"/> Driveway/sidewalk<br><small>(Submit plans)</small> | <input type="checkbox"/> Drainage Plan<br><small>(Submit plans)</small> |
| <input type="checkbox"/> Other - Describe: _____<br><small>(Submit construction plans if applicable)</small> |   |   |

COMMENTS: \_\_\_\_\_

**NOTE:** ALL PLANS SHALL SHOW LOCATION OF EXITING WATER METER(S), SANITARY SEWER CLEANOUTS, MANHOLES, FIRE HYDRANTS, WATER VALVES and EASEMENTS.

DO NOT WRITE BELOW THIS LINE

DO NOT WRITE BELOW THIS LINE

### MVWA ACTION TAKEN

**APPROVED**     **APPROVED as noted**     **RE-SUBMIT as noted**     **DENIED as noted**

Fence Construction - \_\_\_\_\_

Driveway/sidewalk - \_\_\_\_\_

Drainage Plan - \_\_\_\_\_

Other - \_\_\_\_\_

Acknowledgement by Owner/Representative

MVWA Official

\_\_\_\_\_  
**Print Name, Initial & Date** (at the time form is picked up)

\_\_\_\_\_

**Annette Arriaga**

---

**From:** Perdue, Anne R <Anne.Perdue@centerpointenergy.com>  
**Sent:** Monday, April 09, 2018 12:18 PM  
**To:** Annette Arriaga  
**Cc:** Holloway Jr, Rayford; Perdue, Anne R  
**Subject:** ATS Approval Documentation  
**Attachments:** ATS Approval.pdf

Hello Annette,

Attached you will find the process for customers to follow for ATS approvals. Or, they may follow the link below:  
<https://www.centerpointenergy.com/en-us/residential/save-energy-money/electric-efficiency-programs/emergency-standby-generator?sa=HO>

It was a pleasure meeting with you, and I look forward to working with you.

Thank you,

*Anne Perdue*

Senior Service Consultant  
Power Delivery Solutions  
Spring Branch Service Center  
3401 Brittmoore Rd  
Houston, TX. 77043  
Office: 713.945.4509

[Electric Service Standards](#) | [Transfer Switch Approvals](#)





Sign In / Register

## Emergency Standby Generator Transfer Switch Approval Application

Emergency standby generators can provide you with an extra sense of security during hurricane season and when power outages occur. At CenterPoint Energy, we understand that an emergency standby generator can be a convenient source of power for your home or business. However, it is very important that an emergency standby generator be properly installed and used safely.

Emergency standby generators use a transfer switch (ATS) to disconnect from utility service in the event of an outage and to reconnect utility service once power is restored. For your safety and the safety of our employees, the ATS for all generator installations must be reviewed and approved by CenterPoint Energy prior to installation. This is to ensure the proper documentation is reviewed and that the proper service disconnection type is identified before the ATS is installed.

It is the customer's responsibility to submit a request for approval of the ATS to CenterPoint Energy. To apply, simply follow the steps below. If you are working with a generator dealer, licensed electrician or other licensed contractor for the generator installation, they can assist in obtaining the needed documentation for approval.

### How to apply:

To apply for a generator installation in your home or place of business, please send your request with required documentation to: [ATS.Approvals@centerpointenergy.com](mailto:ATS.Approvals@centerpointenergy.com)

The ATS mailbox is monitored Monday-Friday during normal business hours. When your request is received, a response is typically provided within approximately two business days.

Your request must include the following information:

- Electrician name and license number
- Electrical one-line diagram (Click here to view sample) that includes:
  - Meter
  - Generator
  - All load panels
  - ATS specifications
- Manufacturer and model and/or catalog number of the ATS and generator
- Customer name, address and email

**Please note:** If any of these required details are missing, your request may be rejected.

Once the ATS has been approved, you can proceed with the final stages of installing and connecting the generator to your home's electric service. Please follow the steps below to complete the installation.

### Before the approved generator is installed:

1. Your electrician or installing contractor will ask the customer to request a temporary disconnect. To request the temporary disconnect call your retail electric provider or CenterPoint Energy.
2. If the incorrect request is received, CenterPoint Energy will require the customer to request a new transaction.
3. The electrician or installing contractor must wait until CenterPoint Energy has completed the temporary disconnect before beginning work.
4. The customer must request a reconnect after all work is complete by calling either your retail electric provider or CenterPoint Energy.

**Please note:** A permit is required in most of the CenterPoint Energy territory. The city and/or county where the property is located can advise if a permit is required.

**The CenterPoint Energy Distribution Reliability group reserves the right to inspect any generator installation in the field and require corrections before approved for further use.**

OWNER: \_\_\_\_\_ DATE: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

LOAD ANALYSIS: OPTIONAL CALCULATION

1 NO. 1	LOAD DESCRIPTION	1 VOLT-AMPERES
_____	GENERAL LIGHTING	SQ. FT. X 3VA = _____ VA
_____	SMALL APPLIANCE CKTS: @ 1500 VA EA	= _____ VA
_____	LAUNDRY CKTS: @ 1500 VA EA	= _____ VA
_____	IRONING BOARD CKT: @ 1440 VA	= _____ VA
_____	DRYER: 240V, 5KW	= _____ VA
_____	RANGE: 240V, 11 KW	= _____ VA
_____	COOKTOP: 240V, 6.7 KW	= _____ VA
_____	DOUBLE OVEN: 240V, 10.2 KW	= _____ VA
_____	SINGLE OVEN: 240V, 7 KW	= _____ VA
_____	MICROWAVE: @ 1500 VA	= _____ VA
_____	DISPOSAL: 120V, 1176 VA	= _____ VA
_____	DISHWASHER: 120 V, 1500 VA	= _____ VA
_____	TRASH COMPACTOR: 120V, 864 VA	= _____ VA
_____	VENT HOOD: 120V, 480 VA	= _____ VA
_____	READY HOT: 120V, 1500 VA	= _____ VA
_____	WARMING DRAWER: 120V, 750 VA	= _____ VA
_____	ICEMAKER: 120V, 528 VA	= _____ VA
_____	REFRIG/FREEZER: 120V, 1320 VA	= _____ VA
_____	BAR REFRIG: 120V 528 VA	= _____ VA
_____	WHIRLPOOL: 120V, 1656 VA	= _____ VA
_____	CEILING FAN: 120V, 336 VA	= _____ VA
_____	VENT FAN: 120V, 96 VA	= _____ VA
_____	VENT FAN/LIGHT: 120V, 180 VA	= _____ VA
_____	VENT FAN/HEAT: 120V, 1540 VA	= _____ VA
_____	VENT FAN/HEAT/LIGHT: 120V, 1640 VA	= _____ VA
_____	ATTIC VENT FANS: 120V, 528 VA	= _____ VA
_____	GARAGE DOOR OPENERS: 120V, 864 VA	= _____ VA
_____	GATE OPENERS: 120V, 1176 VA	= _____ VA
_____	ELEVATOR: 240V, 4080 VA	= _____ VA
_____	DUMB-WAITER: 120V, 864 VA	= _____ VA
_____	OUTSIDE LTG CKTS. 20 A @ 1920VA/15A @ 1440VA	= _____ VA
_____	POOL MOTOR: HP, V, A	= _____ VA
_____	POOL MOTOR: HP, V, A	= _____ VA
_____	POOL MOTOR: HP, V, A	= _____ VA
_____	POOL LIGHTS: 120V, 500W / 100 W	= _____ VA

\_\_\_\_\_ WATER HEATER: 240V, 5.5 KW / 4.5 KW = \_\_\_\_\_ VA  
 \_\_\_\_\_ MISC: \_\_\_\_\_ = \_\_\_\_\_ VA  
 \_\_\_\_\_ MISC: \_\_\_\_\_ = \_\_\_\_\_ VA  
 "OTHER LOAD" TOTAL = \_\_\_\_\_ VA  
 "OTHER LOAD" DEMAND 10,000 VA @ 100% (1) = 10,000 VA  
 REMAINDER OF LOAD \_\_\_\_\_ VA @ 40% (2) = \_\_\_\_\_ VA  
 ADD LINES (1) AND (2) TOTAL DEMAND = \_\_\_\_\_ VA

ENVIRONMENTAL LOAD

HEATING: (OMIT IF SMALLER THAN AIR CONDITIONING LOAD)

\_\_\_\_\_ UNIT: 240V, KW @ 65% = \_\_\_\_\_ VA  
 \_\_\_\_\_ UNIT: 240V, KW @ 65% = \_\_\_\_\_ VA  
 \_\_\_\_\_ UNIT: 240V, KW @ 65% = \_\_\_\_\_ VA  
 \_\_\_\_\_ UNIT: 240V, KW @ 65% = \_\_\_\_\_ VA  
 \_\_\_\_\_ UNIT: 240V, KW @ 65% = \_\_\_\_\_ VA

AIR CONDITIONING: (OMIT IF SMALLER THAN HEATING LOAD)

\_\_\_\_\_ UNIT: TON, 240V, A @ 100% = \_\_\_\_\_ VA  
 \_\_\_\_\_ UNIT: TON, 240V, A @ 100% = \_\_\_\_\_ VA  
 \_\_\_\_\_ UNIT: TON, 240V, A @ 100% = \_\_\_\_\_ VA  
 \_\_\_\_\_ UNIT: TON, 240V, A @ 100% = \_\_\_\_\_ VA  
 \_\_\_\_\_ UNIT: TON, 240V, A @ 100% = \_\_\_\_\_ VA

AIR HANDLER MOTORS:

\_\_\_\_\_ MOTOR: HP, V, A = \_\_\_\_\_ VA  
 \_\_\_\_\_ MOTOR: HP, V, A = \_\_\_\_\_ VA  
 \_\_\_\_\_ MOTOR: HP, V, A = \_\_\_\_\_ VA  
 \_\_\_\_\_ MOTOR: HP, V, A = \_\_\_\_\_ VA  
 \_\_\_\_\_ MOTOR: HP, V, A = \_\_\_\_\_ VA

TOTAL VOLT - AMPERE LOAD = \_\_\_\_\_ VA

SERVICE AMPERE LOAD

I = \_\_\_\_\_ VA = \_\_\_\_\_ AMPERES  
 240V



**Building, Planning & Development Department**  
**PERMITS AND INSPECTIONS DIVISION**  
 7676 Woodway Dr, Suite 300  
 Houston, Texas 77063  
 Phone: (713) 782-1757 / Fax: (713) 782-3178  
 bldgofficial@pineypt.org

**Important Contractor**  
**Notification & Acknowledgement**  
**NO WORK ON SUNDAYS**

**Sec. 10-1. - Time limitations on building activities.**

(a) It shall be unlawful for any person to cause, permit or perform any construction, renovation, alteration, repair or demolition of any building or structure, or any excavation related thereto ("building activities"), within the city, except between the hours of 7:00 a.m. and 7:00 p.m. on Mondays through Fridays, and between the hours of 8:00 a.m. and 6:00 p.m. on Saturdays. All building activities are strictly prohibited on Sundays and Holidays. Holidays shall include Memorial Day, Independence Day, Labor Day, Thanksgiving Day, Christmas Day, and New Years Day.

(b) The provisions of subsection (a) shall not apply to any construction, renovation, alteration, repair, demolition or related excavation which is conducted by a governmental entity, or for which a city permit is not required.

(c) The city building official is hereby authorized and directed to issue stop work orders as are necessary to assure compliance with the provisions of this section.

(d) Any person who shall violate any provision of this section shall be deemed guilty of a misdemeanor and, upon conviction, shall be fined as prescribed in section 1-11.

(Ord. No. [20.02.24.B](#), § 1, 2-24-20)

**Cross reference**— Environment, [ch. 26](#).

**Sec. 10-6. - Penalty for violation of chapter.**

Any person who shall violate or cause to be violated any provision of this chapter, including a provision of a code adopted by this chapter, or who shall fail to comply with any of the requirements of this chapter or any code adopted by this chapter, shall be deemed guilty of a misdemeanor and, upon conviction, shall be punished as provided in [section 1-11](#) of the City Code. Each such person shall be deemed guilty of a separate offense for each violation and for each day during which any violation is committed or continued.

(Ord. No. [20.02.24.B](#), § 1, 2-24-20)

I have read all of the contractor work hours for the City of Piney Point Village and acknowledge the required work hours and violations. I am aware that no work shall be performed on Sundays for projects that are currently under construction.

Date: \_\_\_\_\_

Print Name of Applicant: \_\_\_\_\_

Signature of Applicant: \_\_\_\_\_

Project Address: \_\_\_\_\_

Project Type: \_\_\_\_\_





**Building, Planning & Development Department**  
**PERMITS AND INSPECTIONS DIVISION**  
7676 Woodway Dr, Suite 300  
Houston, Texas 77063  
Phone: (713) 782-1757 / Fax: (713) 782-3178  
bldgofficial@pineypt.org

---

**Builder Responsible for Construction Correspondence**

Date: \_\_\_\_\_ Permit Number: \_\_\_\_\_

Property Address: \_\_\_\_\_

**Responsible Party**

Name & Title: \_\_\_\_\_  
First Last Title (Ex: Superintendent)

Contact Phone Numbers: \_\_\_\_\_  
Cell Phone Home

E-Mail: \_\_\_\_\_

**Alternate Contact**

Name & Title: \_\_\_\_\_  
First Last Title (Ex: Superintendent)

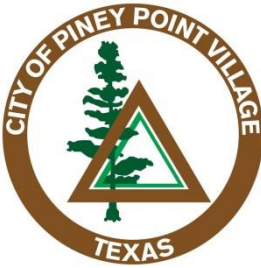
Contact Phone Numbers: \_\_\_\_\_  
Cell Phone Home

E-Mail: \_\_\_\_\_

Estimated Build-Out Time: \_\_\_\_\_

If any of this information changes or you are no longer in charge of the property as indicated above, please contact the city to inform of the update and/or change. The City of Piney Point Village can contact the current owner of the property, for example the property owner, to discuss any construction activity while the building is still under a permit and all final inspections have not been finalized with the city. All contact information will be passed on to the city's Code Enforcement Department, 832-849-8446.

*Annette R. Arriaga*  
Building Official



**Building, Planning & Development Department**  
**PERMITS AND INSPECTIONS DIVISION**  
 7676 Woodway Dr, Suite 300  
 Houston, Texas 77063  
 Phone: (713) 782-1757 / Fax: (713) 782-3178  
 bldgofficial@pineypt.org

## Tree Disposition Plan

Date: \_\_\_\_\_

Project Address: \_\_\_\_\_

SQ FT of Property: \_\_\_\_\_

Contractor Name: \_\_\_\_\_

Phone: \_\_\_\_\_ Fax: \_\_\_\_\_ E-Mail: \_\_\_\_\_

Owner: \_\_\_\_\_

Phone: \_\_\_\_\_ Fax: \_\_\_\_\_

The following items must be attached:

- Trees Removed YES \_\_\_\_\_ NO \_\_\_\_\_
- Tree Survey (signed by a Certified Forester)
  - Specie, Trees 3" > DBH
  - Narrative/Report on Trees  
(i.e. removals, replacements, treatments)
- Proposed Site Plan

Project (Please circle one of the following)

Demolition      New Single Family Dwelling      Garage      **Other: Generator**

Pool              Remodel/Addition              Tree Removal

I hereby certify that I have completed the above information to the best of my ability. I understand that any information submitted in error will result in Tree Disposition Plans and Surveys being returned and an additional re-checking fee being assessed.

Signature: \_\_\_\_\_ Date \_\_\_\_\_

Name (Print): \_\_\_\_\_ Title \_\_\_\_\_

City Forester: \_\_\_\_\_ Date \_\_\_\_\_

**NO OTHER TREE REMOVALS WITHOUT REVISED TDP AND CITY APPROVAL.**

City Urban Forester – Cary Moran – (832) 952-1136 – cary@pineypt.org

ORDINANCE NO. 2016.10.24.D

AN ORDINANCE AMENDING CHAPTER 74 OF THE CODE OF ORDINANCES OF THE CITY OF PINEY POINT VILLAGE, TEXAS, BY DELETING PARAGRAPH (4) OF SUBSECTION (a) OF SECTION 74-244 IN ITS ENTIRETY AND ADDING A NEW PARAGRAPH (4) OF SUBSECTION (a) TO SECTION 74-244, ESTABLISHING REGULATIONS FOR THE LOCATION OF GENERATORS; PROVIDING FOR OTHER MATTERS RELATED TO THE SUBJECT; PROVIDING FOR A PENALTY IN AN AMOUNT NOT TO EXCEED \$2,000 FOR EACH DAY OF VIOLATION; AND PROVIDING FOR SEVERABILITY.

\* \* \* \* \*

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF PINEY POINT VILLAGE, TEXAS:

**Section 1.** That Paragraph (4) of Subsection (a) of Section 74-244, Chapter 74, Zoning, of the Code of Ordinances of the City of Piney Point Village, Texas, be deleted in its entirety and a new Paragraph (4) of Subsection (a) be added to Section 74-244 to provide as follows:

**"Sec. 74-244. - Regulations.**

(a) *Accessory buildings and structures.* Except as provided immediately below, or specifically permitted otherwise in this chapter, no accessory building shall be erected in any yard as required by subsection (c).

\* \* \*

(4) *Generator.* The generator may only be located:

- a. On the ground;
- b. No less than ten feet from the property line; and
- c. At least five feet from the building.

No generator shall be located in front of the main structure. The generator must be screened from the public view by shrubbery and be fueled only by natural gas. Sound shielding and screening is subject to city approval design."

**Section 2.** Any person who shall intentionally, knowingly, recklessly, or with criminal negligence violates any provision of this chapter shall be deemed guilty of a

misdemeanor and, upon conviction, shall be fined in an amount not to exceed \$2,000.00. Each day of violation shall constitute a separate offense.

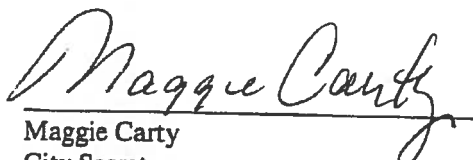
**Section 3.** In the event any clause, phrase, provision, sentence, or part of this Ordinance or the application of the same to any person or circumstance shall for any reason be adjudged invalid or held unconstitutional by a court of competent jurisdiction, it shall not affect, impair, or invalidate this Ordinance as a whole or any part or provision hereof other than the part declared to be invalid or unconstitutional; and the City Council of the City of Piney Point Village, Texas, declares that it would have passed each and every part of the same notwithstanding the omission of any such part thus declared to be invalid or unconstitutional, whether there be one or more parts.

**Section 4.** All ordinances and parts of ordinance in conflict herewith are, to the extent of such conflict, hereby repealed.

PASSED, APPROVED, AND ADOPTED on first and final reading this 24<sup>th</sup> day of October 2016.

  
Mark Kobelan  
Mayor

ATTEST:

  
Maggie Carty  
City Secretary



## Generator Job Card

Required Inspections	Procedure for Inspections
Generator Inspections	
1. Doc Box & Concrete Slab/ Pre-Fabricated Pad <b>REQUIRED - FIRST INSPECTIONS</b>	These inspection are performed together to ensure that there will be a place for your permits and inspection slips and to verify that the location of the generator pad conforms to the City's Ordinance.
Electrical Inspections	
2. Underground	
3. TCI	
4. Reconnect	
5. Final	An electrical final can be requested, once all the other electrical inspections have passed.
Plumbing Inspections	
6. Underground (Gas)	
7. Final (Gas)	A plumbing final can be requested once the underground (gas) inspection has passed.
Final Inspection	
8. Generator Final (Operative)	Once all the other inspections have passed, then can a generator final be scheduled. Generator Final Inspections are by appointment <u>only</u> . Generator must be perable and running. Contractor must be present.



## New Building Codes

### International Residential Code

- IRC 2018

### International Fire Code

- IFC 2018

### International Plumbing Code

- IPC 2018

### International Mechanical Code

- IMC 2018

### International Energy Code Council

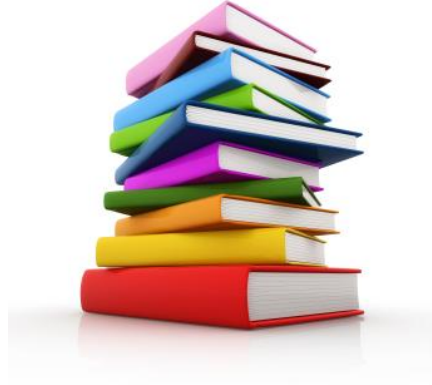
- IECC 2018

### National Electrical Code

- NFPA 70 2020

# For All Code Information

Please go to [www.municode.com](http://www.municode.com)



Go to:

**Municode Library**

Click on:

**State of Texas**

Go To:

**Piney Point Village**

